

TRANSIT • TREND • TRANSFORM

TRIO

SERVICED APARTMENT
FREEHOLD



TRANSFORMING COMMUNITY CULTIVATING AN ICONIC & WHOLESOME LIFESTYLE

Never before in Klang is there a mixed development that achieves such sophistication in contemporary quality, design and sustainability. Paving the way for a perfect new experience in lavish living amidst modern amenities and all the conveniences of an urban lifestyle.



Freehold
Integrated
Development



The Tallest
Tower in
Bukit Tinggi



Walking
Distance to
LRT3 Station



Unobstructed
Vista of Majestic
Bukit Tinggi



Convenience
at Doorstep





NEW GENERATION, CONNECTED

Enjoy better accessibility at TRIO by Setia as the upcoming LRT3 system gives Klang Valley's public transportation a swift, much-needed boost. Immerse in the lifestyle vibrancy of modern living concept with ultimate conveniences under one roof.





AN EMPHASIS ON LIVEABILITY

Rest your mind in these tranquil surroundings and enrich your soul with refreshing social activity all within the comforts at your doorsteps.

UPGRADED LIFESTYLE

With uncompromising consideration for privacy, safety and accessibility, this modern residential landmark of verdant inspiration is set to create a new take on life and balance with all the conveniences of a contemporary lifestyle.



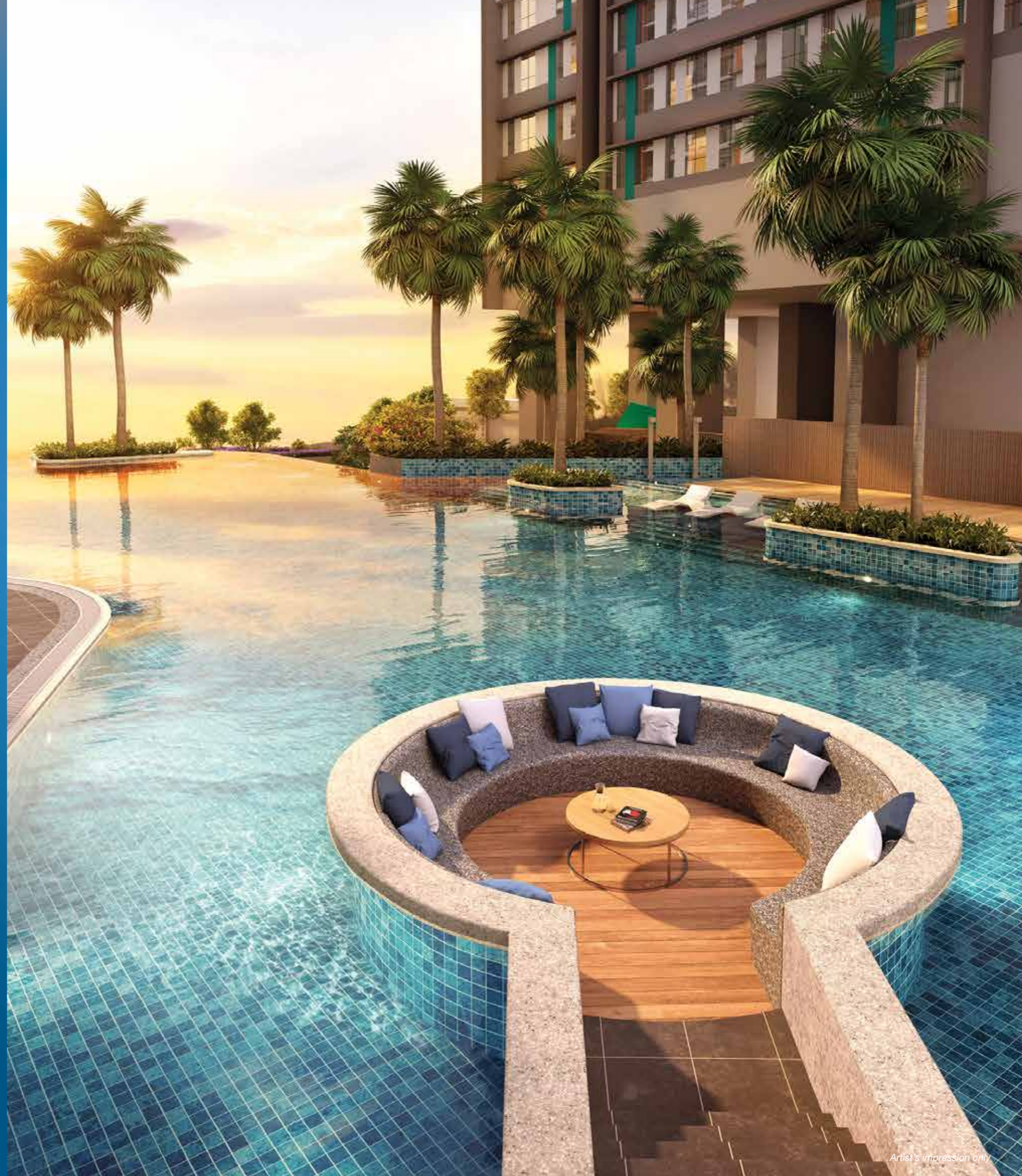
15 facilities exclusive for residents' use



3-tier Security System



Flexible space from 624 sq.ft. - 1,313 sq.ft.



EQUIPPED FOR EVERYDAY EXCITEMENT



REFRESH

- 1 Indoor Games Room
- 2 Wading Pool
- 3 Playground



REJUVENATE

- 4 Sunken Deck
- 5 Swimming Pool
- 6 Sauna & Changing Room
- 7 Yoga Deck
- 8 Gymnasium



RELAX

- 9 Residents Community Garden
- 10 Shaded Pavilion
- 11 Multi-purpose Hall
- 12 BBQ Area
- 13 Plaza Area
- 14 Viewing Deck
- 15 Surau



SENSE OF WELLBEING

An ode to living a stylish & fulfilling life, one that brings together urban habitats with serene facilities and beautiful nature. Private sky facilities for residents only. Relax in resort-living lifestyle facilities such as swimming pool, gym, sauna, sunken deck, yoga deck and more.





MODERN & VERSATILE ON THE INSIDE

Every unit is meticulously planned with convenient built-up areas catering to your size requirements. The exquisite modern design features in these units compliment your needs for multi-generation living.



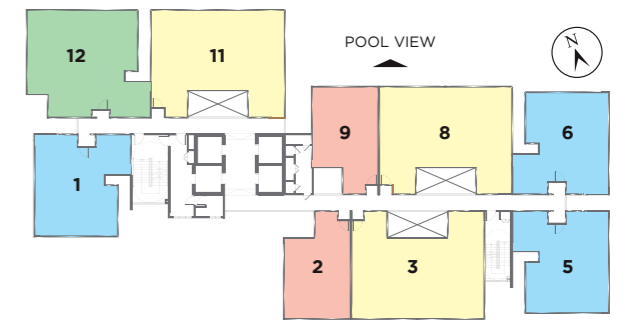
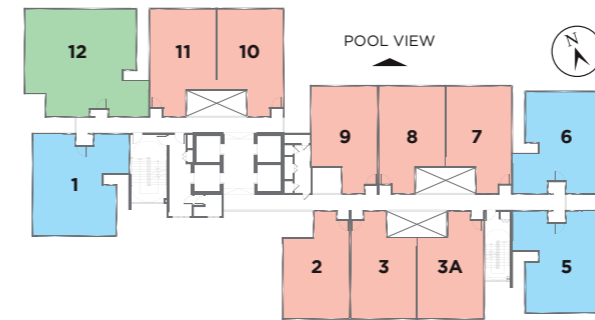
BLOCK A UNIT PLAN

TYPE A1
656 sq. ft.

TYPE B1
915 sq. ft.

TYPE C1
1,216 sq. ft.

TYPE F
1,313 sq. ft.

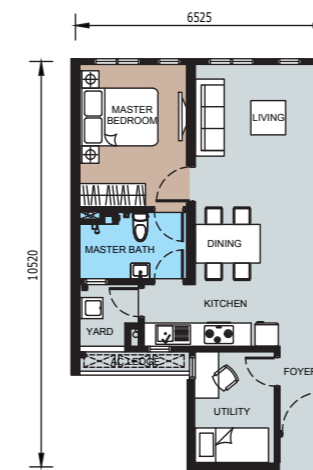


11TH - 36TH TYPICAL STOREY PLAN

37TH - 46TH TYPICAL STOREY PLAN

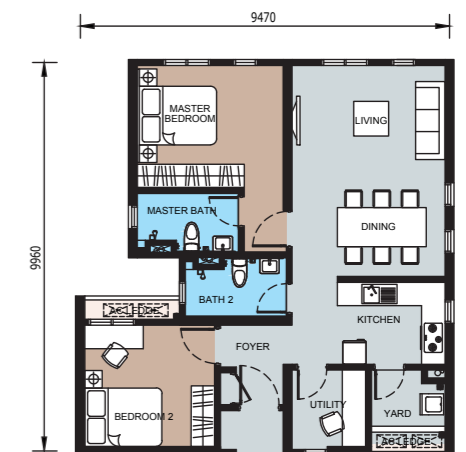
TYPE A1 656 sq. ft.

1+1 Bedrooms . 1 Bathroom



TYPE B1 915 sq. ft.

2+1 Bedrooms . 2 Bathrooms



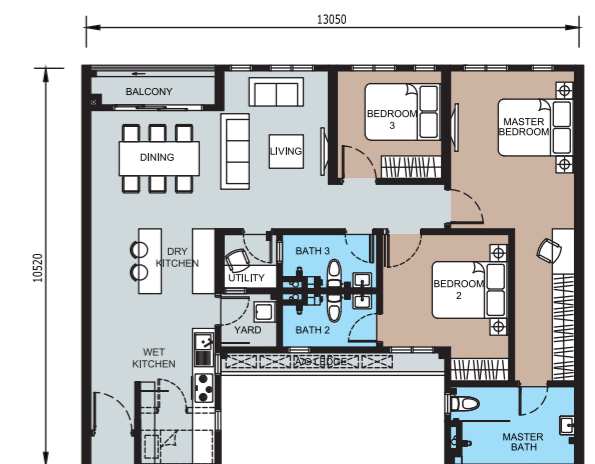
TYPE C1 1,216 sq. ft.

3 Bedrooms . 2 Bathrooms . 1 Balcony



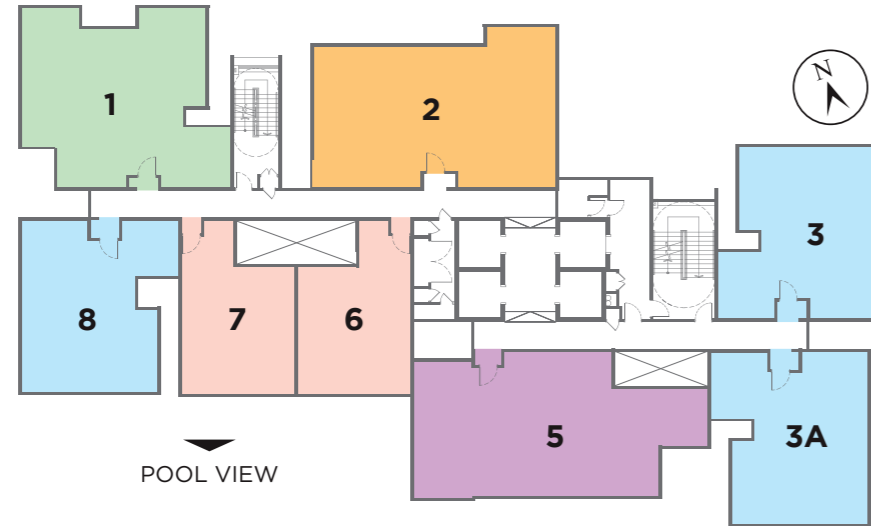
TYPE F 1,313 sq. ft.

3+1 Bedrooms . 3 Bathrooms . 1 Balcony



BLOCK B UNIT PLAN

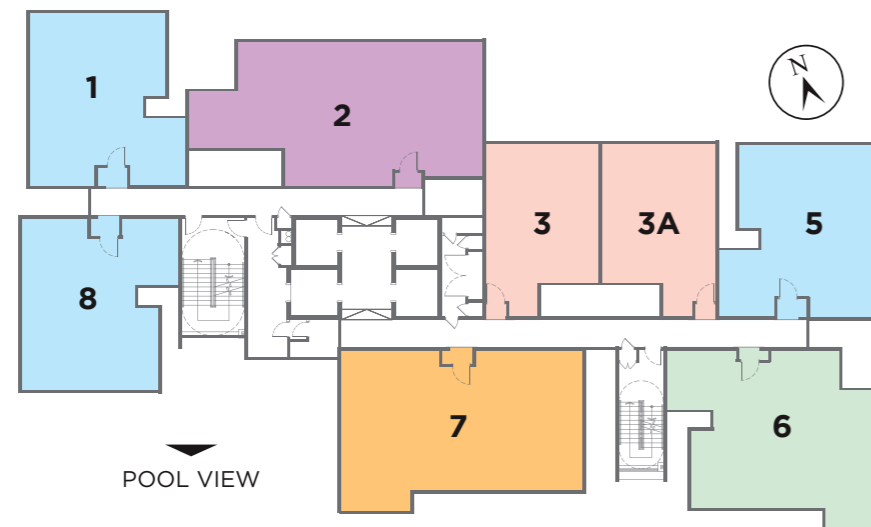
- TYPE A2
624 sq. ft.
- TYPE B2
861 sq. ft.
- TYPE C2
1,108 sq. ft.
- TYPE D
1,248 sq. ft.
- TYPE E
1,248 sq. ft.



TYPICAL STOREY PLAN

BLOCK C UNIT PLAN

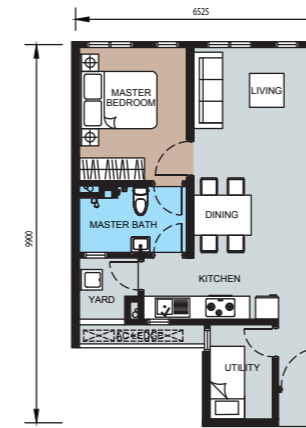
- TYPE A2
624 sq. ft.
- TYPE B2
861 sq. ft.
- TYPE C3
1,011 sq. ft.
- TYPE D
1,248 sq. ft.
- TYPE E
1,248 sq. ft.



TYPICAL STOREY PLAN

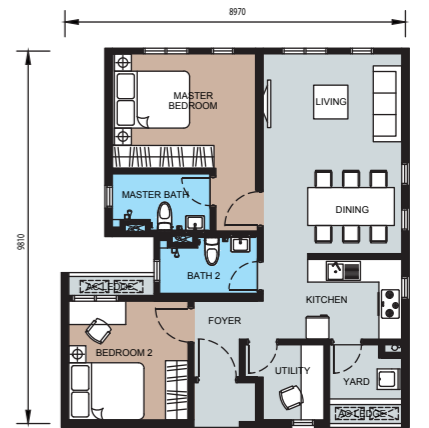
TYPE A2 624 sq. ft.

1+1 Bedrooms . 1 Bathroom



TYPE B2 861 sq. ft.

2+1 Bedrooms . 2 Bathrooms



TYPE C2 1,108 sq. ft.

3 Bedrooms . 2 Bathrooms . 1 Balcony



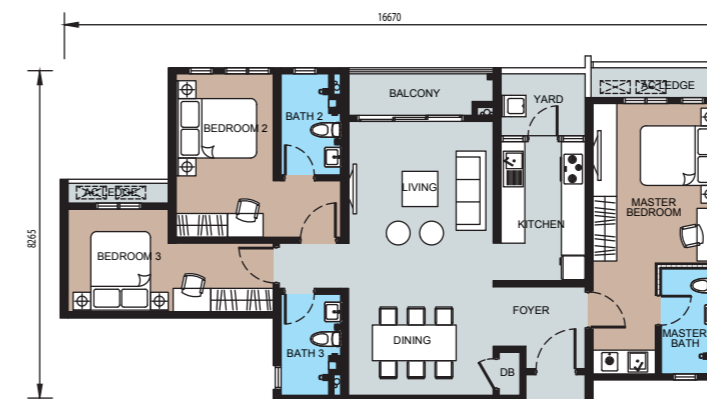
TYPE C3 1,011 sq. ft.

3 Bedrooms . 2 Bathrooms . 1 Balcony



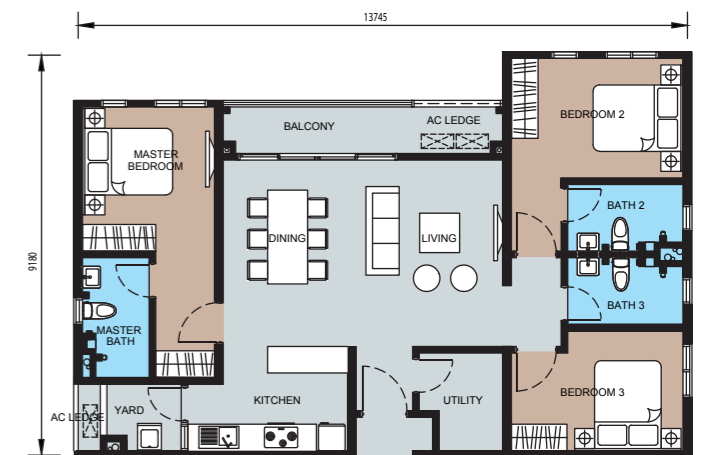
TYPE D 1,248 sq. ft.

3 Bedrooms . 3 Bathrooms . 1 Balcony



TYPE E 1,248 sq. ft.

3+1 Bedrooms . 3 Bathrooms . 1 Balcony



SPECIFICATION

STRUCTURE	Reinforced Concrete										
WALL	Concrete Wall / Brick Wall / Drywall And / Or Precast Panels										
ROOFING COVERING	Concrete Slab										
ROOFING FRAMING	Reinforced Concrete										
CEILING	Bathrooms	: Plaster Ceiling									
	Other Areas	: Skim Coat & Paint To Underside Of Reinforced Concrete Slab / Plaster Ceiling Where Applicable									
WINDOWS	Aluminium Framed Glass Windows										
DOORS	Main Entrance	: Fire Rated Door									
	Others	: Painted Plywood Flush Door									
	Balcony	: Sliding Glass Door									
IRONMONGERIES	Quality Ironmongery										
WALL FINISHES	Internal Walls	: Plaster & Paint / Skim Coat & Paint									
	Bathrooms	: Porcelain Tiles To Plaster Ceiling Height									
	Balcony / Yard	: Plaster & Paint / Skim Coat & Paint									
	Kitchen	: Porcelain Tiles To 1.5m									
FLOOR FINISHES	Living / Dining	: Porcelain Tiles									
	Bedrooms / Utility	: Porcelain Tiles									
	Bathrooms	: Porcelain Tiles									
	Balcony / Yard	: Porcelain Tiles									
	Kitchen	: Porcelain Tiles									
SANITARY AND PLUMBING FITTINGS	Water Closet	A1	A2	B1	B2	C1	C2	C3	D	E	F
	Basin	1	1	2	2	2	2	2	3	3	3
	Shower	1	1	2	2	2	2	2	3	3	3
	Kitchen Sink	1	1	1	1	1	1	1	1	1	1
ELECTRICAL INSTALLATION	Lighting Point	10	10	13	13	16	16	16	22	20	21
	Fan Point	2	2	3	3	4	4	4	4	4	4
	13 Amp Power Point	13	13	14	14	15	15	15	18	15	16
	Door Bell Point	1	1	1	1	1	1	1	1	1	1
	A/C Point c/w Concealed Piping	2	2	2	2	2	2	2	2	2	2
	Instant Water Heater Point	1	1	2	2	2	2	2	3	3	3
	SMATV Point	2	2	2	2	2	2	2	2	2	2
	Electrical Distribution Board	1	1	1	1	1	1	1	1	1	1
	Fibre Wall Socket	1	1	1	1	1	1	1	1	1	1
Intercom Handset	1	1	1	1	1	1	1	1	1	1	

All areas and / or measurements stated in this brochure are approximates only and are subject to final survey, and the above plans are subject to change(s) as may be required by the relevant authorities.

Stay Together. Stay Setia
livelearnworkplay

Call +603 3162 3322
www.triobysetia.com.my

TRIO SALES GALLERIA
15-G, Jalan Remia 2/KS6,
Bandar Botanic, 41200 Klang, Selangor.
E trio_sales@spsetia.com.my

Connect with us

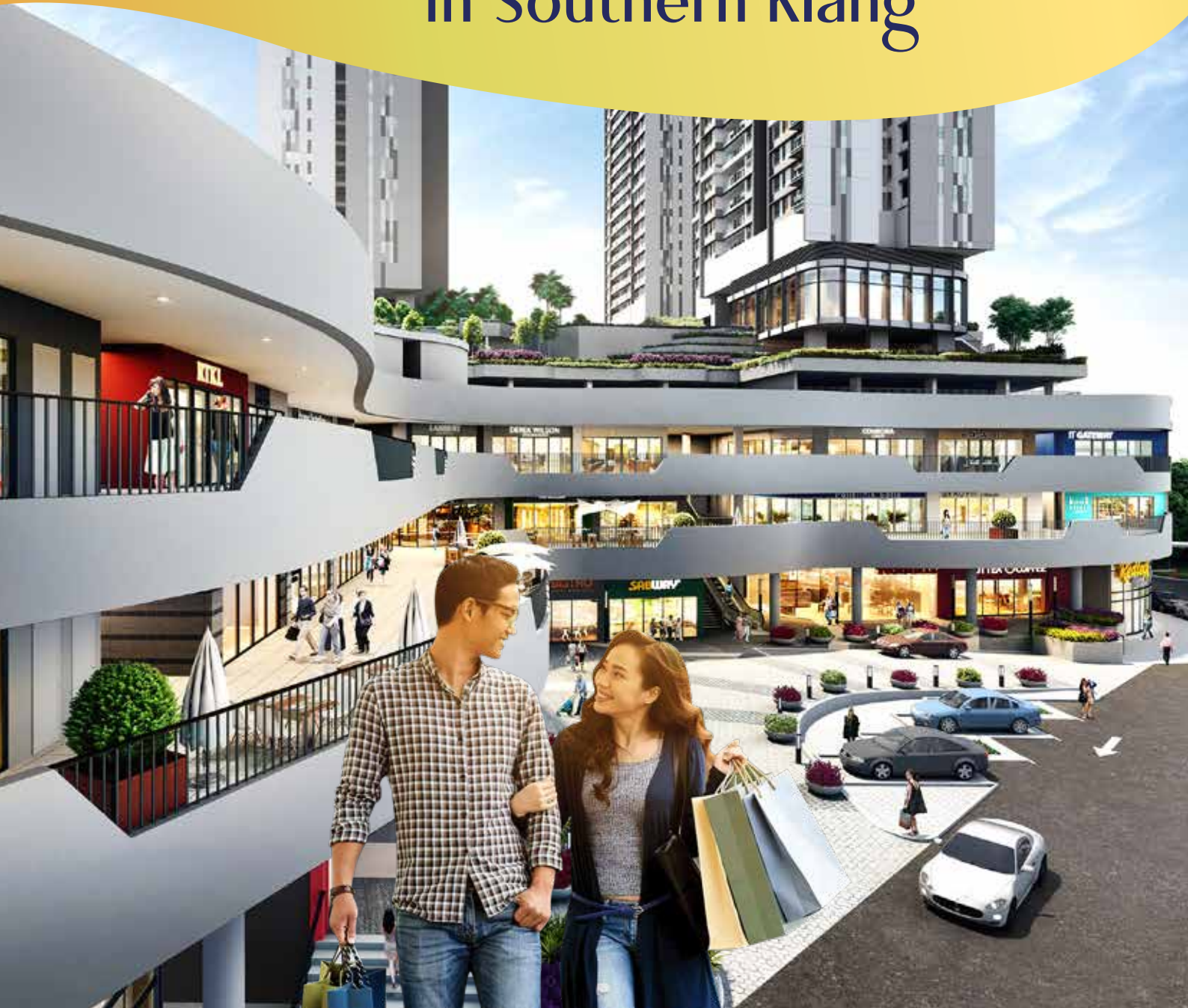
 TRIO By Setia



Ganda Anggun Sdn. Bhd. 200101001750 (S37506-W) • No. Lot 82623, Jalan Langat / KS06, Bandar Bukit Tinggi 1, 41200 Klang Bandar Diraja, Selangor. • T: +603 3162 3322 • F: +603 3162 3323 • W: www.spsetia.com
Developer License No.: 14680/03-2025/0052(R) • Validity Period: 09/03/2022-21/03/2025. • Advertisement & Sale Permit No.: 14680-1/03-2023/0189(R)-(S) • Validity Period: 22/03/2022-21/03/2023. • Land Tenure: Freehold. • Land Authority Approving Plan: MPK/BGN-600-4/1/0124(2016)-P. • Majlis Perbandaran Klang. • Expected Date Of Completion: April 2023. • Encumbrances: AmBank Islamic Bhd. • Type Of Development: Serviced Apartment. • Development Name: Trio. • Carpark: 2 - 4 units. • Total Unit: 788. • Block A: Type A1 - 656 sq.ft, Type B1 - 915 sq.ft, Type C1 - 1,216 sq.ft, Type F - 1,313 sq.ft. • Block B: Type A2 - 624 sq.ft, Type B2 - 861 sq.ft, Type C2 - 1,108 sq.ft, Type D - 1,248 sq.ft, Type E - 1,248 sq.ft. • Block C: Type A2 - 624 sq.ft, Type B2 - 861 sq.ft, Type C3 - 1,011 sq.ft, Type D - 1,248 sq.ft, Type E - 1,248 sq.ft. • Block A: RM412,000 (Min) - RM1,051,200 (Max). • Block B: RM405,000 (Min) - RM975,600 (Max). • Block C: RM476,000 (Min) - RM1,125,600 (Max). • 7% Discount for Bumiputera. • DISCLAIMER: All information contained herein is subject to changes without notification as may be required by the relevant authorities and cannot form part of an offer or contract. Whilst every care has been taken in providing this information, the owner, developer and managers cannot be held liable for variations. All illustrations and pictures are artist impressions only. The items are subject to variation, modifications and substitutions as may be recommended by the relevant approving authorities.
THIS ADVERTISEMENT HAS BEEN APPROVED BY NATIONAL HOUSING DEPARTMENT.

Tr||owalk

Integrated Development in Southern Klang





Triowalk, the New Landmark of Bukit Tinggi

1.1 acres
Commercial Area

32
Exclusive Units

***117** Commercial
Car Park Bays
*Inclusive of assigned & public car park

Located in Matured Township

Bukit Tinggi is an integrated and modern township in Klang with more than 100,000 population.



T.O.D Oriented

Easy access to PJ & KL via public transport; LRT, taxi, Grab, bus and LRT3 station that link to MRT2 at Bandar Utama.



Ready Population

Ready footfall from 788 apartment units that connected via residential link bridge.



Highly Visible

Fronting main thoroughfare of Jalan Langat where highly visible along busy traffic.



Business Friendly Design

A concept tailored for F&B, groceries outlet, fashion line, offices, clinics, pharmacy or even a showroom.



Great Connectivity

Well connected via major highways; KESAS, Federal Highway, SKVE, WCE and Elite.



Potential Future Rental Growth

A benchmark for an exceptional value growth, paving the way to the rewarding future.



Residential Phase
788 Units

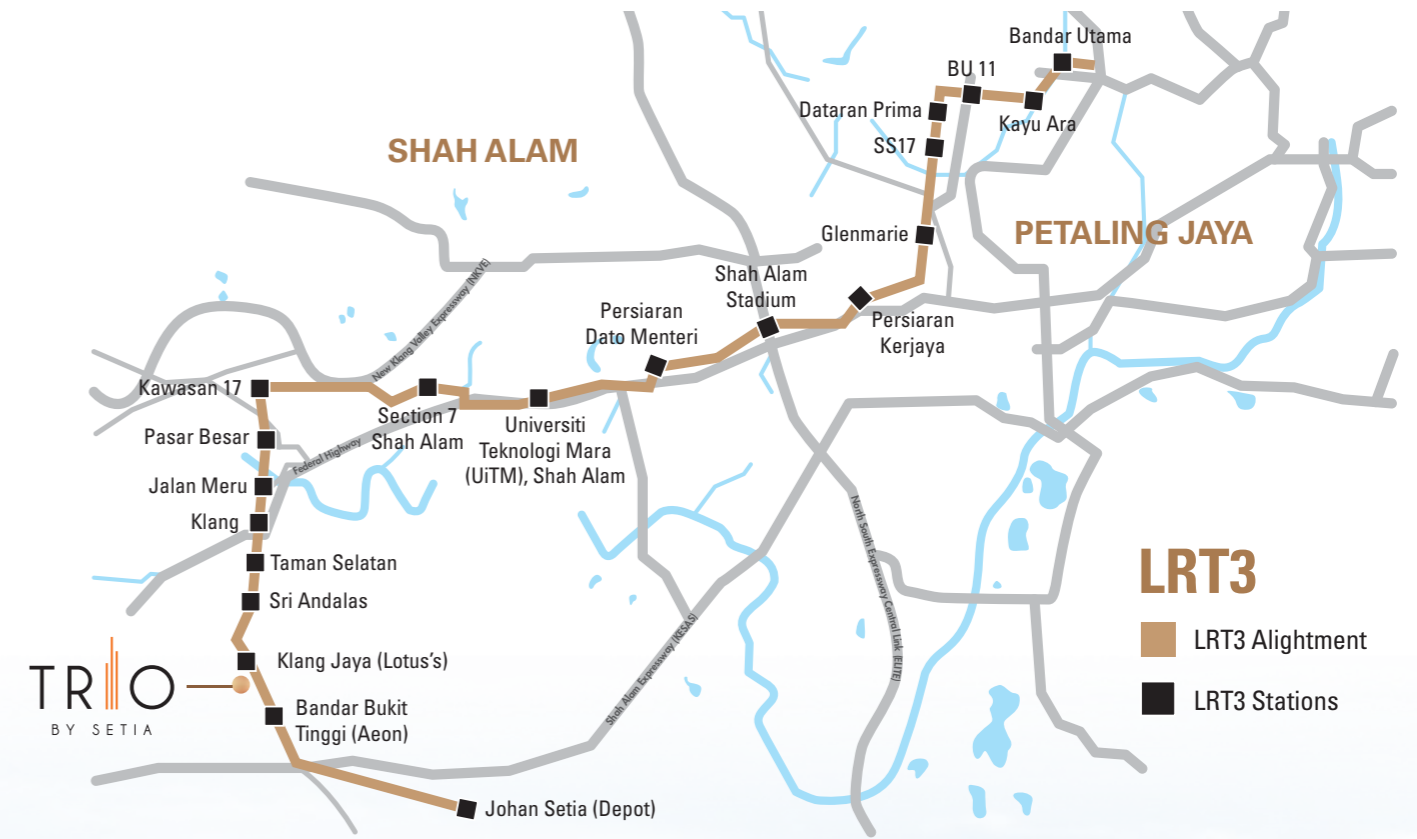
Residential
Link Bridge

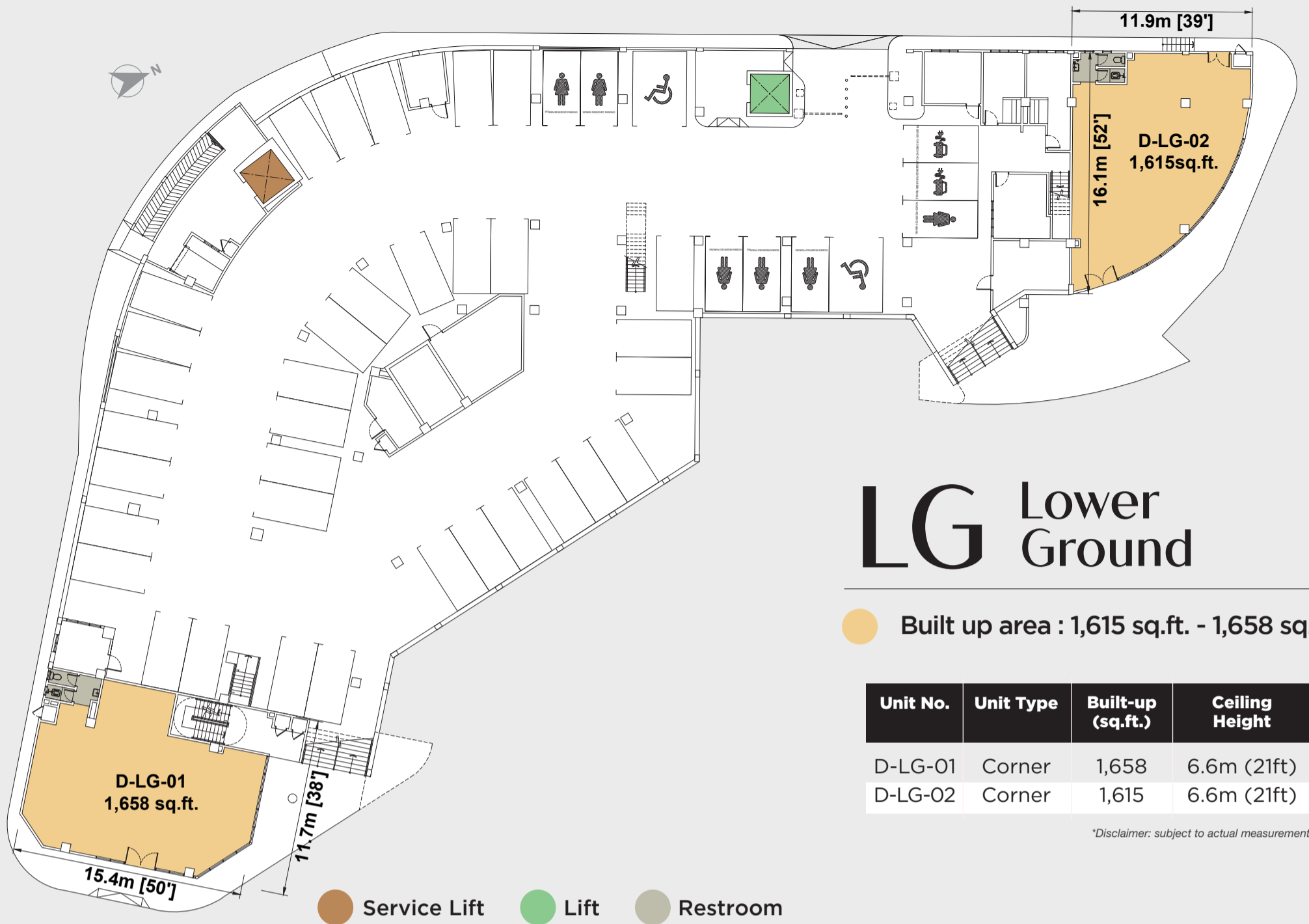
Commercial Phase
3 Storey - 32 Units

LRT 3 Station

The Ideal Location for Your Business

Triowalk is at the heart of it all, located in one of Klang's most vibrant and liveable city. This Transit-Oriented Development (T.O.D) has been meticulously planned with modern amenities as well as covered walkway to LRT3 station.



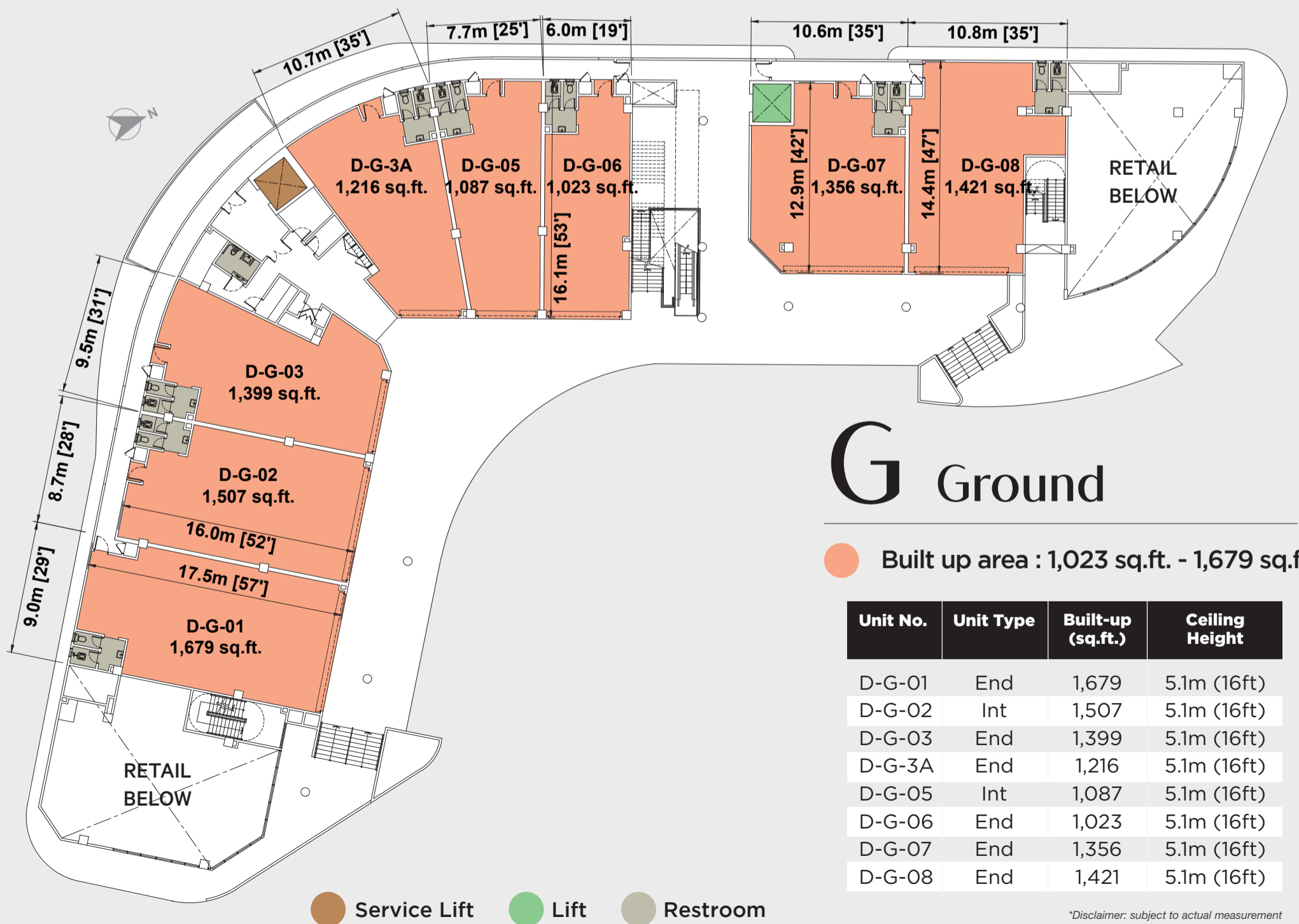


LG Lower Ground

Built up area : 1,615 sq.ft. - 1,658 sq.ft.

Unit No.	Unit Type	Built-up (sq.ft.)	Ceiling Height
D-LG-01	Corner	1,658	6.6m (21ft)
D-LG-02	Corner	1,615	6.6m (21ft)

**Disclaimer: subject to actual measurement*

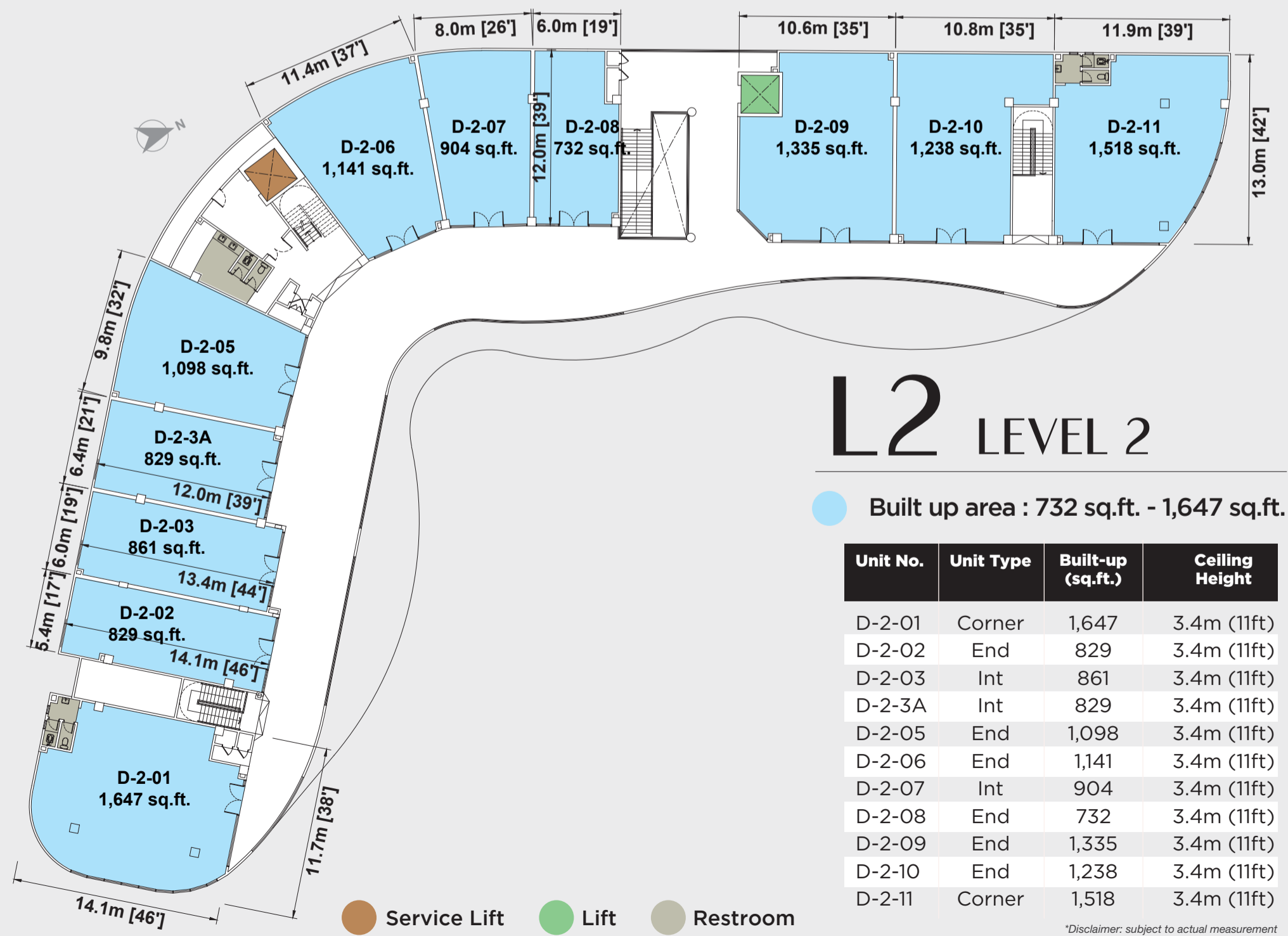
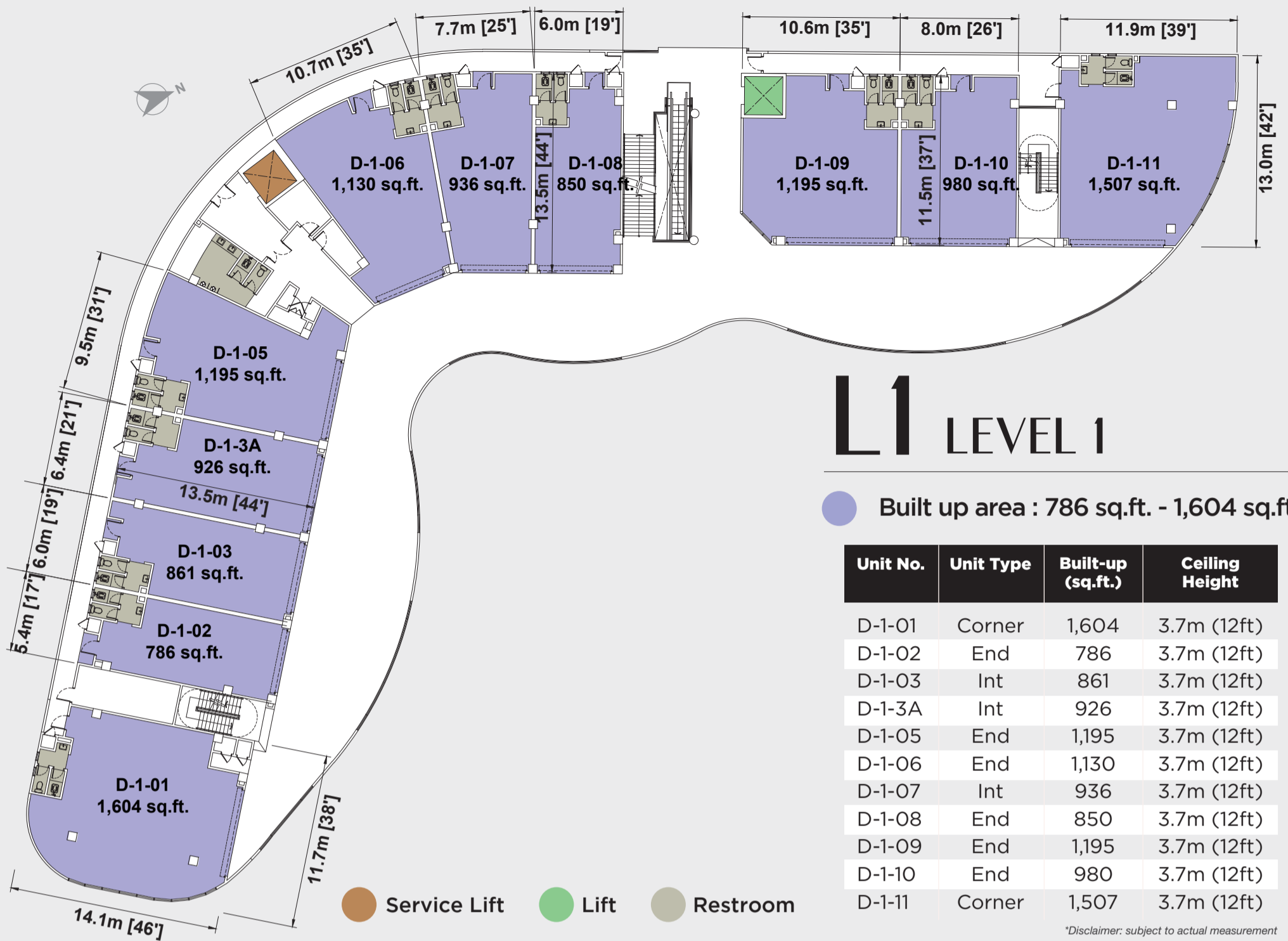


G Ground

Built up area : 1,023 sq.ft. - 1,679 sq.ft.

Unit No.	Unit Type	Built-up (sq.ft.)	Ceiling Height
D-G-01	End	1,679	5.1m (16ft)
D-G-02	Int	1,507	5.1m (16ft)
D-G-03	End	1,399	5.1m (16ft)
D-G-3A	End	1,216	5.1m (16ft)
D-G-05	Int	1,087	5.1m (16ft)
D-G-06	End	1,023	5.1m (16ft)
D-G-07	End	1,356	5.1m (16ft)
D-G-08	End	1,421	5.1m (16ft)

**Disclaimer: subject to actual measurement*



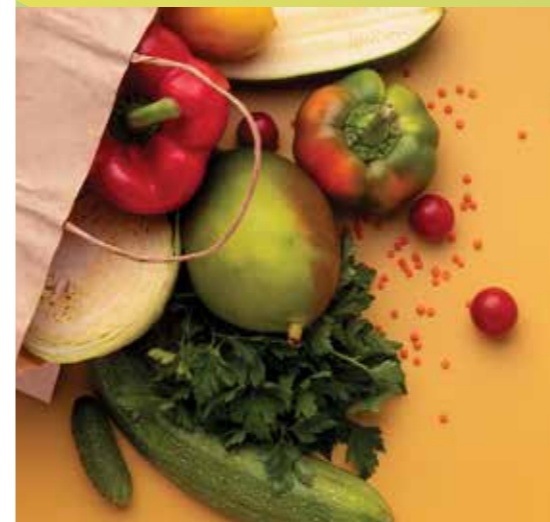
SPECIFICATION

Structure	Reinforced Concrete											
Wall	Concrete Wall / Brick Wall / Lightweight Wall / Drywall and / or Precast Wall											
Roofing Covering	Concrete Slab											
Roof Framing	Reinforced Concrete											
Ceiling	Other Areas	Skim Coat & Paint to underside of Reinforced Concrete Slab Plaster Ceiling (Where Applicable)										
	Toilet	Plaster Ceiling (Retail & Office Corner Unit)										
Windows	Aluminium Framed Glass Windows											
Doors	Main Entrance	Roller Shutter (Where Applicable)										
	Others	Painted Plywood Flush Door										
	Aluminium Framed Glass Doors (Where Applicable)											
Ironmongeries	Quality Ironmongery											
Wall Finishes	TYPES	RETAIL	OFFICE CORNER UNIT	OFFICE INTERMEDIATE UNIT								
	Internal Walls	Plaster & Paint / Skim Coat & Paint	Plaster & Paint / Skim Coat & Paint	Plaster & Paint / Skim Coat & Paint								
	Toilets	Tiles to Plaster Ceiling Height	Tiles to Plaster Ceiling Height	-								
	Refuse	Tiles	-	-								
Floor Finishes	Other Areas	Cement Render	Cement Render	Cement Render								
	Refuse	Tiles	-	-								
	Toilets	Tiles	Tiles	-								
Sanitary & Plumbing Fittings	End-Cap	-	-	1 no								
	Basin	1 no	1 no	-								
	Tap	3 nos	2 nos	-								
	WC	1 no	1 no	-								
	AWC	1 no	1 no	-								
Electrical Installation	TYPES	D-LG-01	D-LG-02	D-G-01	D-G-02	D-G-03	D-G-3A	D-G-05	D-G-06	D-G-07	D-G-08	
	Light Point	16	18	20	17	17	14	13	12	16	17	
	13 Power Point	10	10	12	10	10	8	8	8	10	10	
	Fibre Wall Socket	1	1	1	1	1	1	1	1	1	1	
	Electrical DB	1	1	1	1	1	1	1	1	1	1	
	TYPES	D-1-01	D-1-02	D-1-03	D-1-3A	D-1-05	D-1-06	D-1-07	D-1-08	D-1-09	D-1-10	D-1-11
	Light Point	19	10	10	10	14	12	11	10	16	14	16
	13 Power Point	12	6	6	6	8	8	6	6	8	6	10
	Fibre Wall Socket	1	1	1	1	1	1	1	1	1	1	1
	Electrical DB	1	1	1	1	1	1	1	1	1	1	1
	TYPES	D-2-01	D-2-02	D-2-03	D-2-3A	D-2-05	D-2-06	D-2-07	D-2-08	D-2-09	D-2-10	D-2-11
	Light Point	21	10	8	8	12	12	9	8	11	9	16
	13 Power Point	14	6	6	6	8	8	6	6	10	8	10
	Fibre Wall Socket	1	1	1	1	1	1	1	1	1	1	1
	Electrical DB	1	1	1	1	1	1	1	1	1	1	1

UNITS CHART

2nd Floor	CL	EL	IL	IL	EL	EL	IL	EL	EL	EL	CL
Built-up (sq.ft.)	1,647	829	861	829	1,098	1,141	904	732	1,335	1,238	1,518
Unit No.	D-2-01	D-2-02	D-2-03	D-2-3A	D-2-05	D-2-06	D-2-07	D-2-08	D-2-09	D-2-10	D-2-11
1st Floor	CL	EL	IL	IL	EL	EL	IL	EL	EL	EL	CL
Built-up (sq.ft.)	1,604	786	861	926	1,195	1,130	936	850	1,195	980	1,507
Unit No.	D-1-01	D-1-02	D-1-03	D-1-3A	D-1-05	D-1-06	D-1-07	D-1-08	D-1-09	D-1-10	D-1-11
Ground Floor	EL	IL	EL	EL	IL	EL	EL	EL			
Built-up (sq.ft.)	1,679	1,507	1,399	1,216	1,087	1,023	1,356	1,421			
Unit No.	D-G-01	D-G-02	D-G-03	D-G-3A	D-G-05	D-G-06	D-G-07	D-G-08			
Lower Ground Floor	CL	CL									
Built-up (sq.ft.)	1,658	1,615									
Unit No.	D-LG-01	D-LG-02									

Perfect for
New Startups
 & Business Upgraders



All areas and / or measurements stated in this brochure are approximates only and are subject to final survey, and the above plans are subject to change(s) as may be required by the relevant authorities. All art renderings and pictures are artist impression only where selected units may be blocked by LRT pillars. While every care has been taken in providing this information, any inaccuracy and/or omission is not intentional. The developer cannot be held responsible for variations without notification as may be required by the relevant authorities or developer's architect and cannot form part of an offer or contract.

Be part of the Lively Bukit Tinggi

TRIO's prime location in matured townships of southern Klang offers complete amenities. Also offers accessibility and great connectivity via majors highways such as KESAS, Federal Highway, ELITE, SKVE, West Coast Highway & up-coming LRT 3.



Tr | owalk

Call +603 3162 3322
www.triobysetia.com.my

TRIO SALES GALLERIA
15-G, Jalan Remia 2/KS6,
Bandar Botanic, 41200 Klang, Selangor.
E trio_sales@spsetia.com.my

Connect with us

f TRIO By Setia

Setia

Stay Together. Stay Setia
livelearnworkplay

Ganda Anggun Sdn. Bhd. 200101001750 (537506-W) • No. Lot 82623, Jalan Langat / KS06, Bandar Bukit Tinggi 1, 41200 Klang Bandar Diraja, Selangor. • T: +603 3162 3322 • F: +603 3162 3323 • W: www.spsetia.com
Developer License No.: 14680/03-2025/0052(R) • Validity Period: 09/03/2022-21/03/2025. • Land Tenure: Freehold. • Land Authority Approving Plan: MPK/BGN-600-4/1/0124(2016)-P. • Majlis Perbandaran Klang. • Expected Date Of Completion: September 2025. DISCLAIMER: All information contained herein is subject to changes without notification as may be required by the relevant authorities and cannot form part of an offer or contract. Whilst every care has been taken in providing this information, the owner, developer and managers cannot be held liable for variations. All illustrations and pictures are artist impressions only. The items are subject to variation, modifications and substitutions as may be recommended by the relevant approving authorities.

THIS ADVERTISEMENT HAS BEEN APPROVED BY NATIONAL HOUSING DEPARTMENT.